

Templeton South Subdivision and Rezoning



WELCOME TO THE PUBLIC INFORMATION MEETING FOR THE TEMPLETON SOUTH SUBDIVISION IN PRECINCT E

This meeting will provide information on the proposed subdivision and rezoning of lands south of Templeton in Precinct E. This subdivision is for the lands owned by Waterside Development Corp. They are working with developers to the south to create a unified neighbourhood design that links housing, parks, the new school, pathways and roads to the existing infrastructure.

At this meeting we will review:

- Who We Are
- Planning History
- Proposed Conceptual Plan
- Next Steps
- Questions

WHO WE ARE

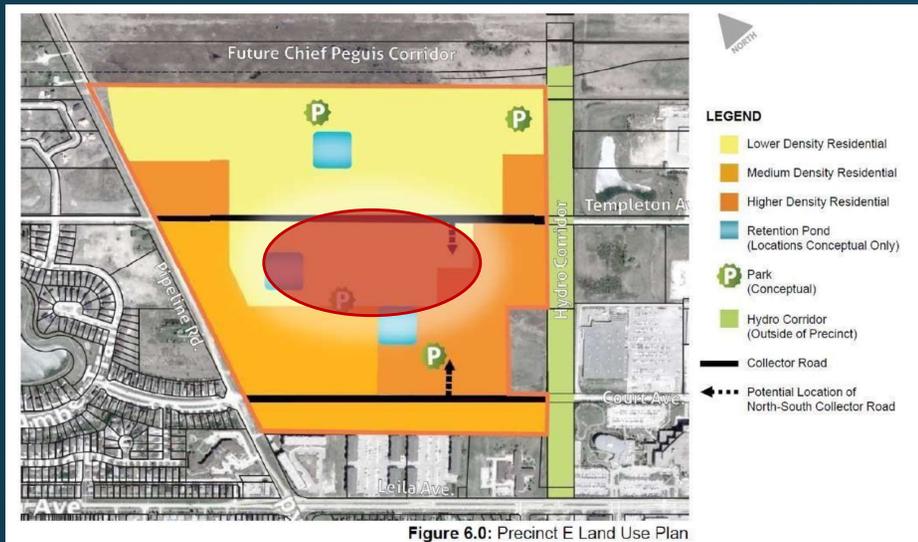


Waterside are developers of residential neighbourhoods with a long history in Winnipeg and area. They are currently developing the lands for the apartment block on the south side of Templeton Avenue at DeGrave Street and Parkview Pointe Development in West St. Paul.



McGowan Russell Group are landscape architects and planning consultants that have been retained to prepare the plans, consult with the neighbours, and make application to the City.

PLANNING FOR PRECINCT E



The development of Precinct E began with a secondary plan for the neighbourhood that includes the lands north of Templeton to south of Court Avenue.

The land north of Templeton has already been subdivided and is under development.

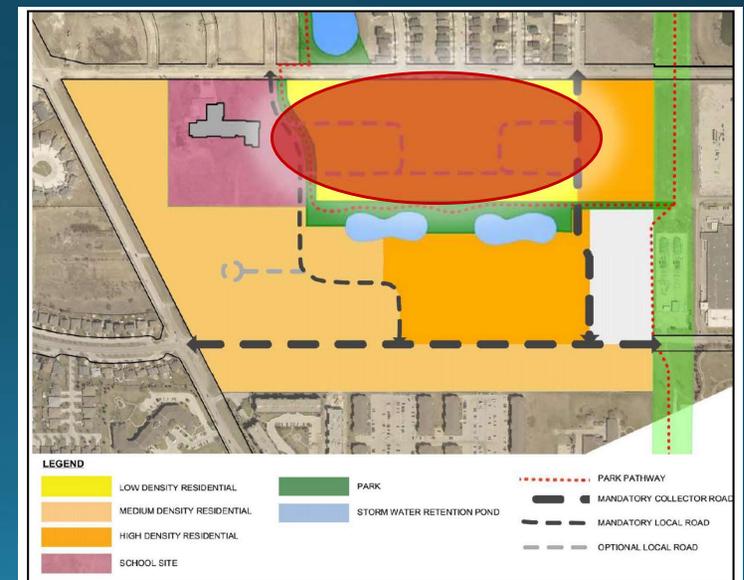
Waterside also has a development on the east side of DeGrave Street that is under development as apartments.

A special area plan was developed for the lands between Templeton and Court to guide the form of development for the neighbourhood.

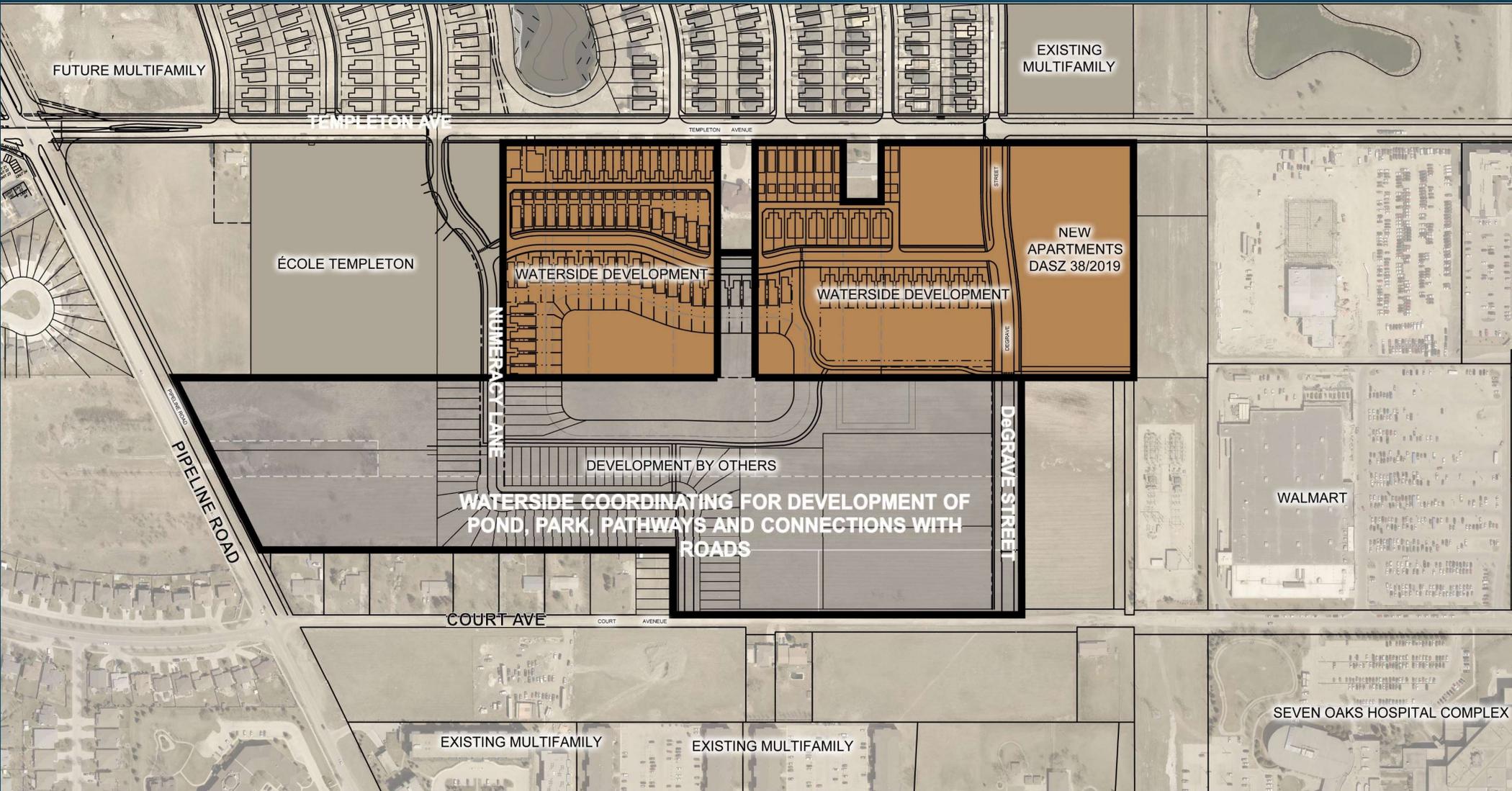
The school has been constructed on the south side of Templeton including a section of roadway.

The north half of the collector road on the east side the precinct (De Grave St.) is under construction as part of DASZ38/2019.

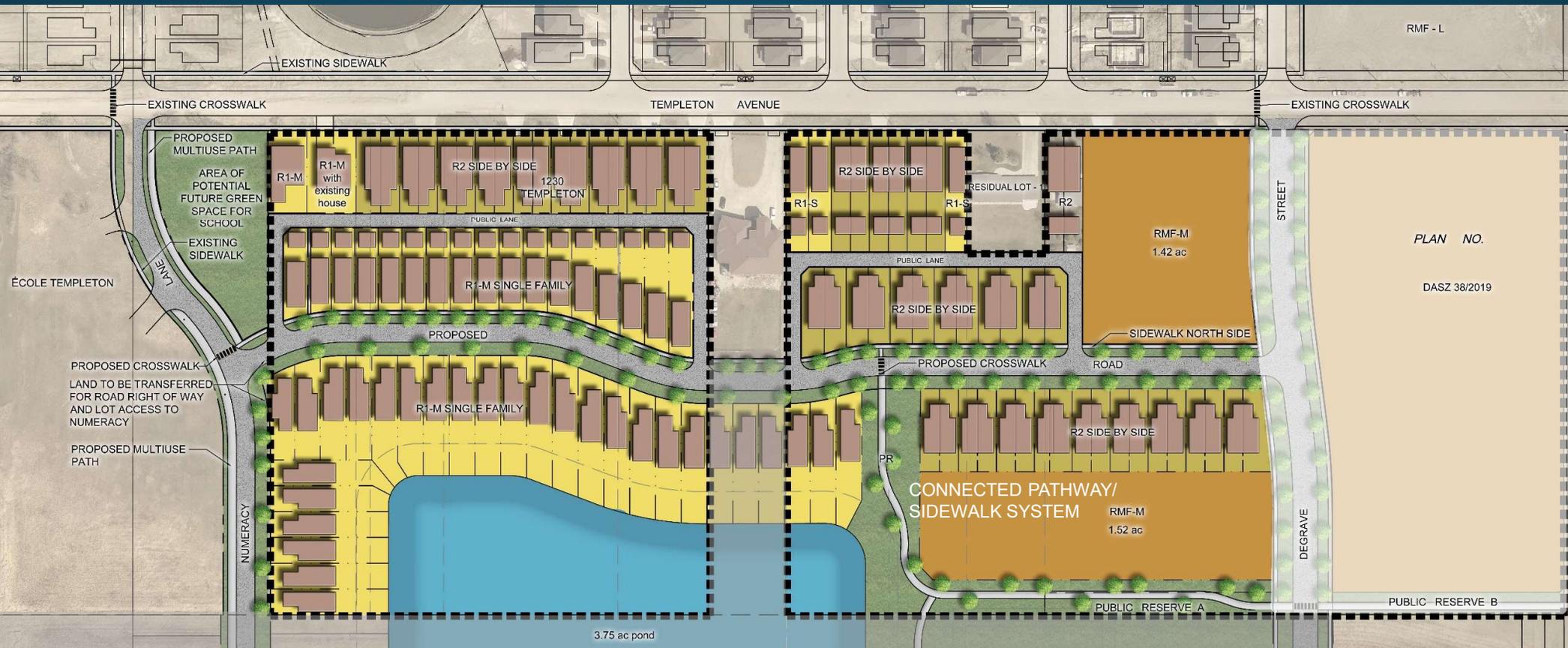
The proposed subdivision for this application includes lands of low and high density, park and ponds with the completion of the north south roads to connect to the development to the south the extends to Court.



PROPOSED PLAN - CONTEXT



PROPOSED PLAN



PLAN NO.
DASZ 38/2019

A mix of housing styles with:

- Single Family R1-M and R1-S
- Side-by-Side Two Family
- Low rise multifamily – RMF-M

Provides:

- Sidewalk along the new east-west road
- Tree lined streets
- Pathway connections to the future hydro corridor greenway
- Back lane access for house fronting on Templeton
- Pathway connection to Templeton on Numeracy

NEXT STEPS



QUESTIONS

We will take questions starting with those written in throughout the presentation. Please feel free to continue to write in questions with the Q&A button. If anyone is calling in and would like to ask a question, please use *6 to raise your hand and *9 to unmute. If we have time at the end and anyone else would like to ask a question, please use the raise your hand button after the written questions are completed.

THANK YOU

Thank you for joining us today and providing us with your input. When you leave the webinar a link to a survey will be provided. We ask that you take a few minutes to fill in the survey to provide us with a written record of your opinion.